

1304 Jefferson Avenue

COLD SPRING MARKET - FACADE IMPROVEMENTS
BUFFALO, NY 14208

PROJECT DESCRIPTION

SBL# 100.49-3-22
EXISTING 2-STORY FRAME BUILDING, FACADE IMPROVEMENTS

CODE NOTES

1. ZONING DISTRICT: N3-C
2. USE GROUP: M - MERCANTILE
3. CONSTRUCTION TYPE: 5B
4. EXISTING BUILDING FOOTPRINT: 3,464 SQ.FT. (NO CHANGE)

CONSTRUCTION NOTES

CONCRETE

1. ALL CONCRETE PATCHING EXPOSED TO WEATHER SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI WITH 6% AIR ENTRAINMENT A MAXIMUM WATER/CEMENT RATIO OF 0.44.
2. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE BUILDING REGULATIONS FOR REINFORCED CONCRETE AS ADOPTED BY THE AMERICAN CONCRETE INSTITUTE (ACI) AND LOCAL CODES.
3. CONCRETE SHALL BE PREPARED, PLACED & CURED IN ACCORDANCE WITH THE A.C.I. REQUIREMENTS OF HOT OR COLD WEATHER CONCRETE PLACING, AS APPROPRIATE FOR THE JOB SITE CONDITIONS. PROTECT CONCRETE FROM FREEZING.
4. CONCRETE ADMIXTURE INFORMATION:
 - ADD AN ACCELERATOR TO CONCRETE TO BE PLACED BELOW 45 DEGREES FAHRENHEIT, CONFORMING TO ASTM C494, TYPES C OR E.
 - ADD A RETARDER TO CONCRETE TO BE PLACED ABOVE 90 DEGREES FAHRENHEIT, CONFORMING TO ASTM C494, TYPE D.
 - AIR-ENTRAINING ADMIXTURE TO CONFORM TO ASTM C260.

DOORS & WINDOWS:

1. NEW ALUMINUM STOREFRONT SHALL BE PROVIDED AT APPROXIMATE DIMENSIONS SHOW, FIELD VERIFY MEASUREMENTS,
2. NEW STOREFRONT WINDOWS & ENTRY DOOR SHALL BE TUBELITE: T24650 OR APPROVED EQUAL. ALUMINUM MEDIUM STILE, 2" SIGHT LINE, 4-1/2" DEPTH. CENTER PLANE GLASS, SINGLE THERMAL (DOUBLE PANE) GLASS - FRAME COLOR: BLACK
3. EXIST'G 2ND FL. WINDOWS TO BE REPLACED W/NEW WINDOWS AS CHOSEN BY OWNER. 4 WINDOWS ON THE FRONT FACADE AND 7 ON THE SIDE FACADE FACING THE ALLEY.
4. EXIST'G ORIGINAL 3RD FLOOR WINDOWS TO BE

RETAINED, REPAIRED AND REPAINTED.

PAINTING

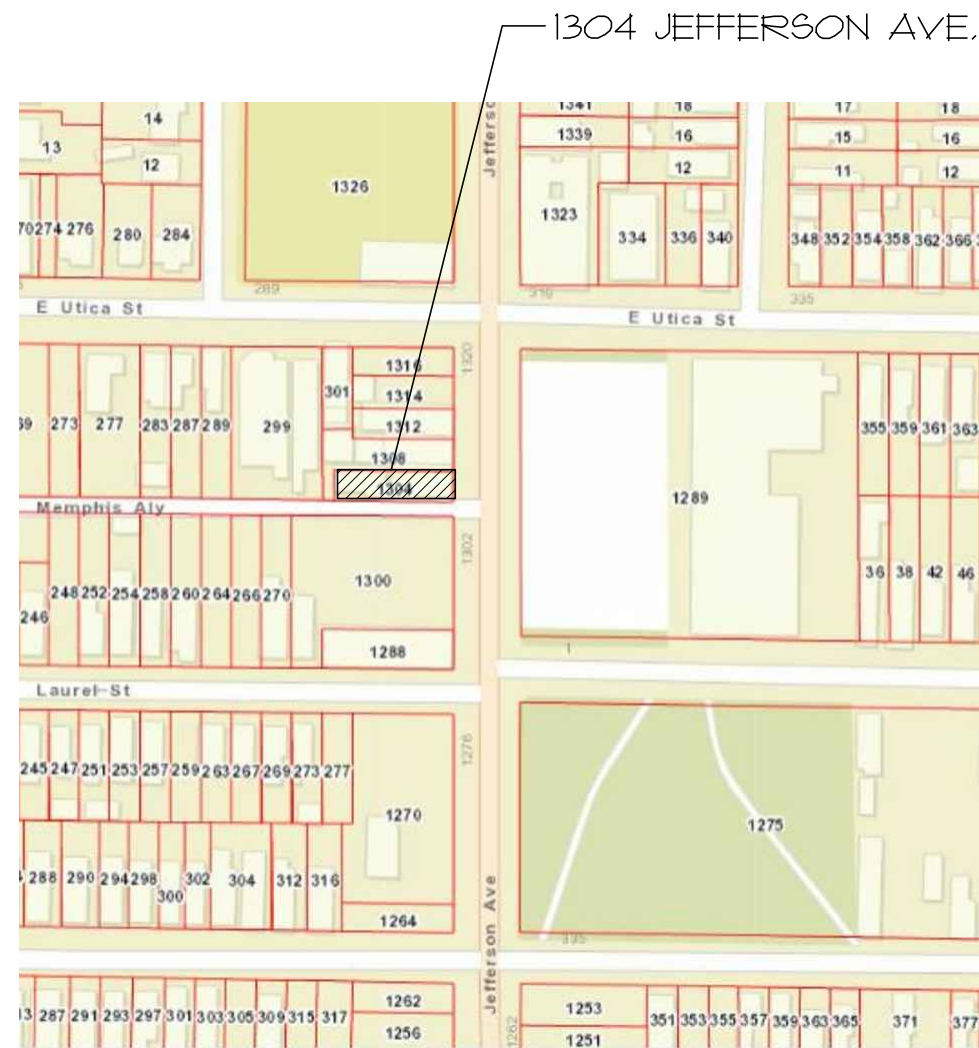
1. ALL PAINTING TO BE DONE SHALL COMPLY WITH THE EPA RENOVATION, REPAIR AND PAINTING RULE. IF A PAINTING CONTRACTOR IS EMPLOYED, THEY MUST BE A CERTIFIED LEAD PAINT RENOVATION CONTRACTOR.
2. ALL PAINT PRODUCTS SHALL COMPLY WITH LATEST IBC AND EPA REGULATIONS. PAINT COLORS SHALL BE AS SELECTED BY THE OWNER. INTERIOR PAINTS SHALL ALL BE LOW-VOC. ALL PAINTS SHALL BE AS FORMULATED BY MANUFACTURER FOR SPECIFIC SUBSTRATE TO BE PAINTED
3. EXTERIOR SURFACES TO BE PAINTED SHALL BE PAINTED WITH EXTERIOR ACRYLIC SEMI-GLOSS PAINT.
4. WALLS AND CEILINGS SHALL BE PAINTED WITH LATEX "LOW LUSTER" OR EQUAL. TRIM AND DOORS SHALL BE ALKYD ENAMEL SEMI-GLOSS.
5. USE MANUFACTURER'S RECOMMENDED PRIMER FOR EACH TYPE OF PAINT.
6. ALLOW FOR COLOR SELECTIONS BY OWNER FROM THE MANUFACTURER'S STANDARD COLOR SELECTIONS.
- 7.

MECHANICAL/PLUMBING.

NO MECHANICAL OR PLUMBING WORK THIS PROJECT

ELECTRICAL:

1. ALL ELECTRICAL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AS WELL AS THE NATIONAL ELECTRICAL CODE, MOST RECENT EDITION.
2. ALL NEW FIXTURES SHALL BE LED TYPE .RLM STANDARD 19"H TEXTURED BRONZE GOOSENECK EXTERIOR WALL LIGHTS.



1. LOCATION MAP

NOT TO SCALE



FOR CORRECT NEW STOREFRONT SEE 2/A-2
NEW AWNING

1. PROPOSED FACADE RENOVATION

NOT TO SCALE

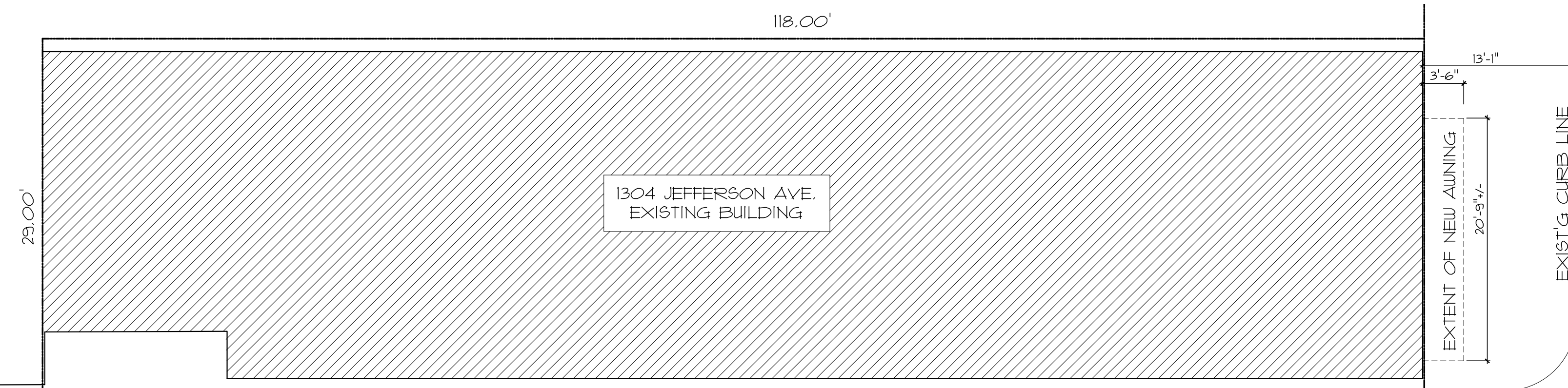
GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) OF NEW YORK STATE, CITY OF BUFFALO REGULATIONS, FIRE DEPT REQUIREMENTS, ZONING REGULATIONS AND BEST BUILDING PRACTICES.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.
3. CONSTRUCTION OR DEMOLITION WORK BASED ON THESE DRAWINGS IS NOT TO BE UNDERTAKEN WITHOUT THE APPROVAL OF THE APPROPRIATE

REGULATING AGENCIES. CONTRACTORS UNDERTAKING WORK WITHOUT FIRST SECURING & MAINTAINING THE NECESSARY APPROVALS, PERMITS, LICENSES, VARIANCES, ETC. DO SO AT THEIR OWN RISK ENTIRELY AND ASSUME FULL RESPONSIBILITY FOR THEIR ACTIONS AND ANY CONSEQUENTIAL DAMAGES TO OTHER PARTIES, SUCH AS THE PROPERTY OWNER, ARCHITECT, AND CONSULTANTS.

DEMOLITION, SHORING, CUTTING AND PATCHING:

1. INCLUDE ALL NECESSARY CUTTING AND PATCHING MADE NECESSARY BY CONSTRUCTION OPERATIONS. RESTORE ALL SURFACES TO ORIGINAL CONDITION OR AS INDICATED ON DRAWINGS.



DRAWING INDEX

- A-1 COVER SHEET, NOTES & SITE PLAN
- A-2 NOTES, PARTIAL FLOOR PLAN & BUILDING ELEVATIONS
- A-3 DETAILS & DETAILS WALL SECTION

2. SITE PLAN

SCALE: 1/8" = 1'-0"



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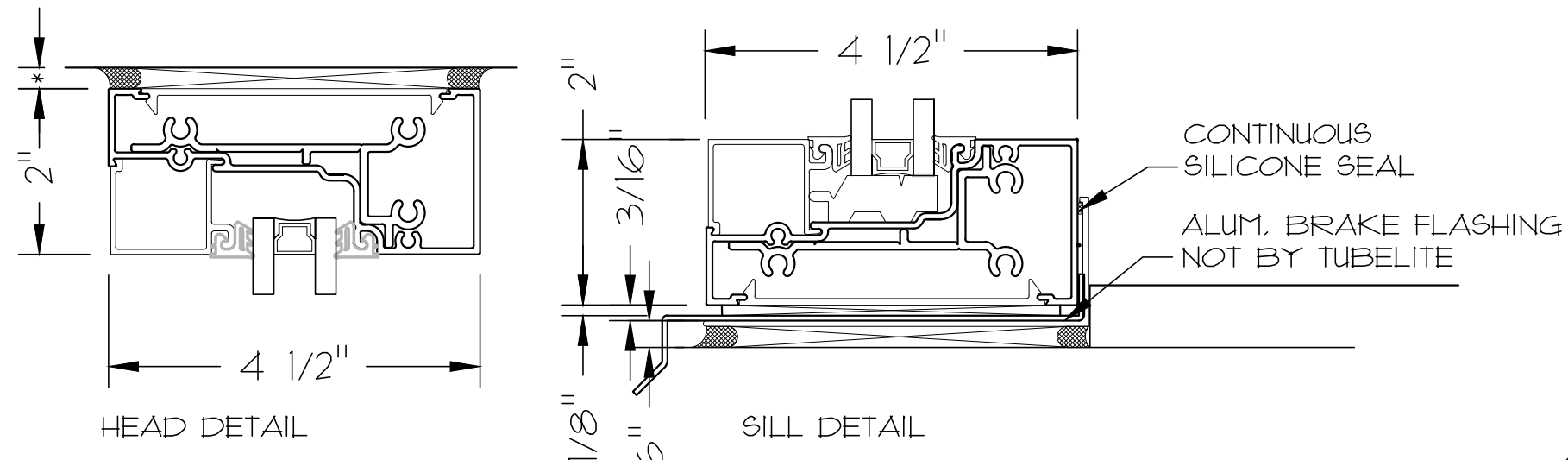
COVER SHEET,
NOTES & SITE PLAN

SCALE: AS NOTED

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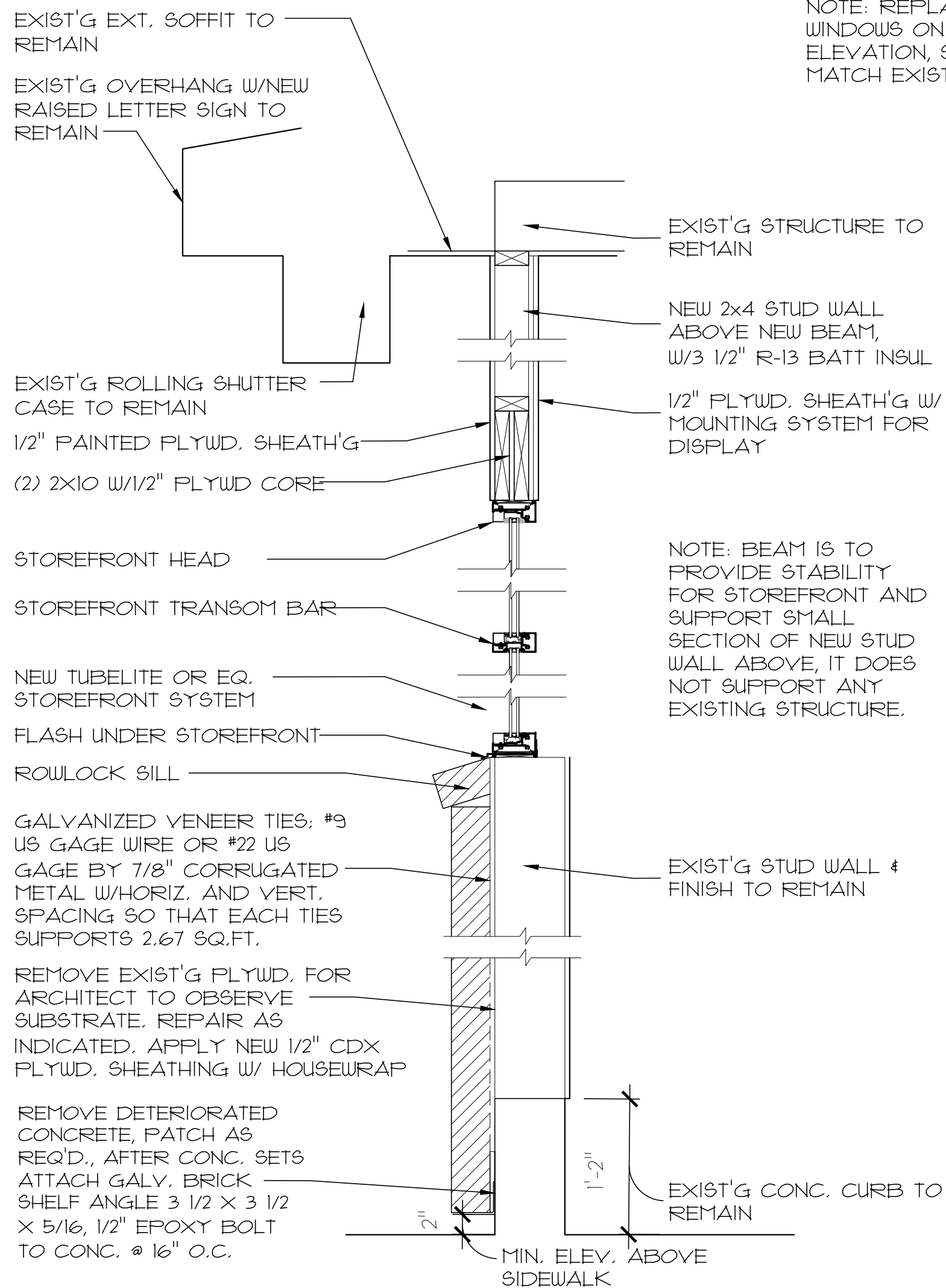
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A-1



1A. STOREFRONT DETAILS

SCALE: 3" = 1'-0"

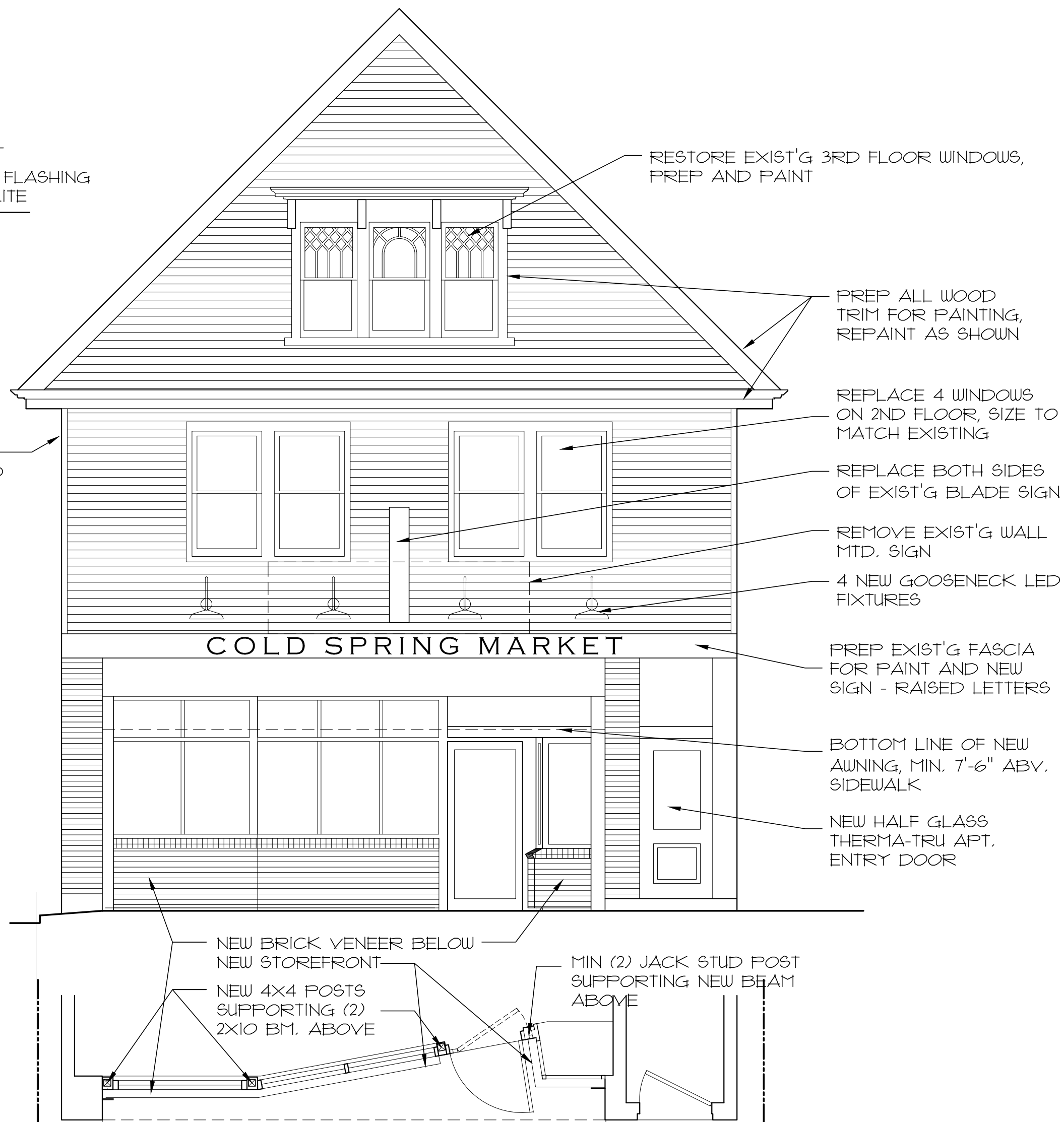


1. DETAIL WALL SECTION

SCALE: 1" = 1'-0"

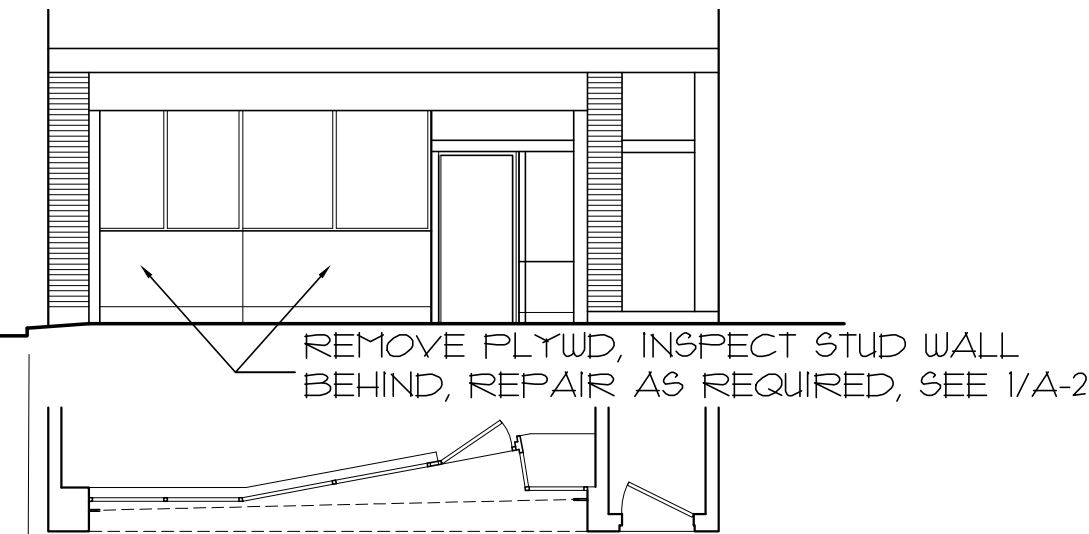
NOTE: REPLACE 7 WINDOWS ON SIDE ELEVATION, SIZE TO MATCH EXISTING

NOTE: BEAM IS TO PROVIDE STABILITY FOR STOREFRONT AND SUPPORT SMALL SECTION OF NEW STUD WALL ABOVE, IT DOES NOT SUPPORT ANY EXISTING STRUCTURE.



2. PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



3. EXIST'G CONDITION EAST ELEVATION

SCALE: 1/8" = 1'-0"

AWNING NOTES:
 * 7'-6" MIN. HEIGHT ABOVE GRADE
 * VALANCE HEIGHT: MAX. 6"
 * 3'-6" EXTENSION FROM FACADE OVER SIDEWALK
 * SLOPE OF AWNING: MIN. 3:12
 * DICKSON NORTH AMERICAN COLLECTION POMPADOUR RED/WHITE/BLACK 7124 47" AWNING/MARINE FABRIC

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**ELEVATION,
 STOREFRONT
 PLAN & DETAIL
 WALL SECTION**
 SCALE: AS NOTED

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