

# 1384 Jefferson Avenue, Buffalo



1. VICINITY MAP  
GRAPHIC SCALE

24 PALM STREET



## PROJECT DESCRIPTION

100.41-6-5  
INTERIOR RENOVATION TO EXISTING BARBER SHOP TO INCLUDE NEW HANDICAP ACCESSIBLE RESTROOM. EXTERIOR FACADE IMPROVEMENTS TO INCLUDE NEW STOREFRONT AND AWNING.

## CODE NOTES

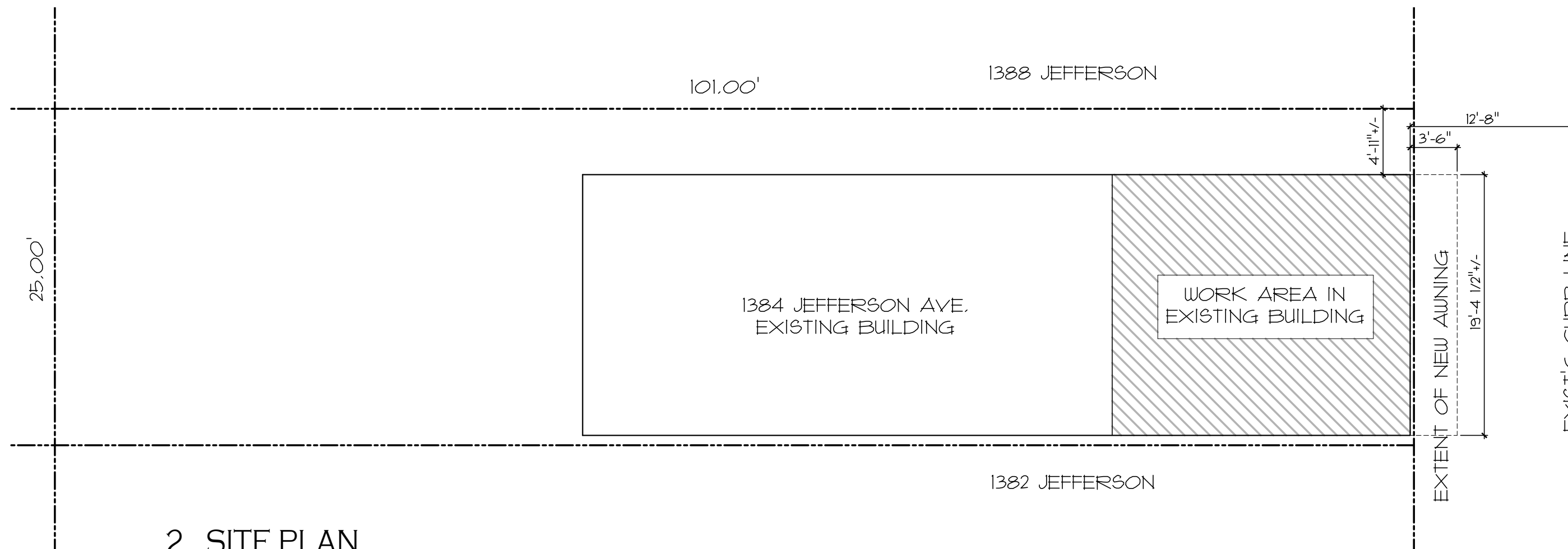
1. ZONING DISTRICT: SINGLE FAMILY RESIDENTIAL
2. USE GROUP: MIXED USE, 2 FAMILY RESIDENTIAL,
3. CONSTRUCTION TYPE: 5B OVERALL, BARBER SHOP: 3B
4. EXISTING BUILDING FOOTPRINT: 1,192 SQ.FT.
5. WORK AREA OF BARBER SHOP: 429 SQ.FT.
6. IEBC ALTERATION LEVEL 2

## GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE BUILDING CODE OF NEW YORK STATE, FIRE DEPT REQUIREMENTS, ZONING REGULATIONS AND BEST BUILDING PRACTICES.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.
3. CONSTRUCTION OR DEMOLITION WORK BASED ON THESE DRAWINGS IS NOT TO BE UNDERTAKEN WITHOUT THE APPROVAL OF THE APPROPRIATE REGULATING AGENCIES. CONTRACTORS UNDERTAKING WORK WITHOUT FIRST SECURING & MAINTAINING THE NECESSARY APPROVALS, PERMITS, LICENSES, VARIANCES, ETC. DO SO AT THEIR OWN RISK ENTIRELY AND ASSUME FULL RESPONSIBILITY FOR THEIR ACTIONS AND ANY CONSEQUENTIAL DAMAGES TO OTHER PARTIES, SUCH AS THE PROPERTY OWNER, ARCHITECT, AND CONSULTANTS.

## DEMOLITION AND CUTTING AND PATCHING:

1. DEMOLITION SHALL INCLUDE REMOVAL OF EXISTING SECURITY GRATES, EXISTING INFILL WALLS AT UNITS 1365 AND 1371, STOREFRONT WINDOWS BELOW TRANSOMS TO REMAIN, AND PANELS BELOW. INTERIOR WALL REMOVED TO PROVIDE ACCESS TO BATHROOM FROM UNIT 1363.
2. INCLUDE ALL NECESSARY CUTTING AND PATCHING MADE NECESSARY BY CONSTRUCTION OPERATIONS. RESTORE ALL SURFACES TO ORIGINAL CONDITION.



2. SITE PLAN  
SCALE: 1/8" = 1'-0"

## DRAWING INDEX

- A-1 COVER SHEET, NOTES & SITE PLAN
- A-2 NOTES & FLOOR PLAN & BUILDING ELEVATIONS
- A-3 DETAIL BATHROOM PLAN & ELEVATIONS & ELECTRICAL PLAN

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COVER SHEET & SITE  
PLAN

SCALE: 1/8" = 1'-0"

**1384 Jefferson Ave.**  
INTERIOR RENOVATION & FACADE  
IMPROVEMENTS  
BUFFALO, YORK 14208

PERMIT SET 6.28.21

**A-1**

**ABBREVIATIONS**

ACT	ACOUSTIC TILE CEIL'G	GFI	GROUND FAULT (CIRCUIT) INTERRUPTER
ADJ	ADJUSTABLE	GWB	GYP(SUM) WALL BOARD
AFF	ABOVE FINISH FLOOR	HVAC	HEATING, VENTILATION & AIR-CONDITIONING
B.O.	BY OTHERS	INSUL	INSULATION
CLG	CEILING	INT	INTERIOR
CMU	CONCRETE MASONRY UNIT (CONC. BLOCK)	LAV	LAVATORY
CONC	CONCRETE	MTD	MOUNTED
CT	CERAMIC TILE	MTL	METAL
EA	EACH	O.C.	ON CENTER
EL.	ELEVATION	PTD	PAINTED
EQ	EQUAL	P.T.	PRESSURE TREATED
EXIST	EXISTING	R.O.	ROUGH OPENING
EXT	EXTERIOR	STL	STEEL
F.F.	FINISH FLOOR	TYP	TYPICAL
FDN	FOUNDATION	VCT	VINYL COMPOSITION TILE
FTG	FOOTING	W/	WITH
		WD.	WOOD

**WOOD FRAMING STRUCTURAL NOTES:**

- ALL WOOD FOR STRUCTURAL FRAMING SHALL BE STRESS-GRADED, SURFACE-DRY HEM-FIR (NORTH) NO.2 OR BETTER. GRADING SHALL BE PER "THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION", LATEST EDITION, BY THE AMERICAN FOREST AND PAPER ASSOCIATION (AFPA). STANDARD GRADE MAY BE USED FOR 2x4'S IN INTERIOR STUD WALL CONSTRUCTION.
- PROVIDE SOLID BLOCKING UNDER ALL POSTS OR MULTIPLE STUDS, DOWN TO STRUCTURE BELOW, WHETHER IT BE A BEAM OR FOUNDATION WALL.
- ALL LUMBER IN CONTACT WITH CONCRETE, MASONRY, OR EARTH SHALL BE PRESSURE TREATED GYPSUM.
- PLYWOOD SHALL BE AMERICAN PLYWOOD ASSOC. (APA) EXTERIOR C-D, AND SHALL CONFORM TO APA STANDARD PS1-74.
- FASTEN ALL DOUBLE MEMBERS TOGETHER WITH 12D ("PENNY") NAILS AT 16" CENTERS, TOP AND BOTTOM. FASTEN ALL OTHER MULTIPLE MEMBERS TOGETHER WITH 1/2" DIAMETER THROUGH-BOLTS AT 16" CENTERS, TOP AND BOTTOM (STAGGERED), UNLESS OTHERWISE NOTED.

**WALLBOARD/DRYWALL:**

- AS BUDGET ALLOWS, EXT. SIDEWALLS TO BE FURRED OUT W/2x6 STUDS FINISHED W/ 1/2" GWB.

- MOISTURE RESISTANT GWB IN RESTROOM WALLS.
- IF USING DRYWALL SCREWS, SPACE THEM A MAX. OF 12" O.C., DRYWALL NAILS SPACE A MAX. OF 8" O.C., SIZES PER CODE.

**DOORS & WINDOWS**

- NEW STOREFRONT WINDOWS & ENTRY DOOR SHALL BE TUBELITE T24650 OR APPROVED EQUAL ALUMINUM MEDIUM STILE, 2" SIGHT LINE, 4-1/2" DEPTH, CENTER PLANE GLASS, SINGLE THERMAL (DOUBLE PANE) GLASS - FRAME COLOR: BLACK

**PAINT:**

- ALL PAINTING SHALL BE DONE ACCORDING TO THE EPA RENOVATION, REPAIR AND PAINTING RULE. PAINTING CONTRACTOR MUST BE A CERTIFIED LEAD PAINT RENOVATION CONTRACTOR.
- PAINT NEW GWB & TRIM ON INTERIOR, AND FACADE ON EXTERIOR.
- EXTERIOR PAINT TO BE ALKYD, INTERIOR PAINT TO BE LATEX ACRYLIC, SEMI GLOSS FINISH AT TRIM AND BATHROOM WALLS, FLAT AT GWB ELSEWHERE.
- USE MANUFACTURER'S RECOMMENDED PRIMER FOR EACH TYPE OF PAINT.
- ALLOW FOR COLOR SELECTIONS BY OWNER FROM MANUFACTURER'S STANDARD COLOR SELECTIONS.

**INSULATION**

- ROOF INSULATION SHALL BE INSTALLED BETWEEN CEILING JOISTS, 12" R-38 BATTS.
- EXTERIOR WALL INSULATION SHALL BE INSTALLED IN FURRED OUT WALLS, 6" R-20 OR R-21 BATTS.

**ELECTRICAL**

- ALL ELECTRICAL WORK COMPLY WITH ALL STATE AND LOCAL CODES AS WELL AS THE NATIONAL ELECTRICAL CODE, MOST RECENT ADDITION.
- ALL NEW FIXTURES SHALL BE LED TYPE.

**MECHANICAL:**

- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST NEW YORK

- STATE ADDITION OF THE INTERNATIONAL MECHANICAL CODE, THE INTERNATIONAL FUEL GAS CODE, THE INTERNATIONAL ENERGY CONSERVATION CODE, AND ANY OTHER CODES OR STANDARDS REQUIRED BY THE CITY OF BUFFALO OR NEW YORK STATE.
- INSTALL NEW MINI-SPLIT MITSUBISHI OR EQ. SYSTEM AS SHOWN ON ELECTRICAL PLAN.
  - REGISTER IN NEW BATHROOM TO BE FED FROM NEW MINI-SPLIT SYSTEM.

**PLUMBING:**

- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST NEW YORK EDITION OF THE INTERNATIONAL PLUMBING CODE, AND ANY OTHER CODES OR STANDARDS REQUIRED BY THE CITY OF BUFFALO OR THE STATE OF NEW YORK.
- ALL SANITARY AND VENT PIPING SHALL BE SCHEDULE 40 PVC PIPING.
- ALL DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER TUBING, OR PLASTIC PIPING IN ACCORDANCE WITH THE IPC, WITH FIBERGLASS INSULATING PIPE WRAP.
- NEW TOILET SHALL BE MAX. 1.6 GALLON PER FLUSH.
- CUSTOM VANITY PER DIMENSIONS SHOW FOR HANDICAP ACCESSIBILITY, FINISHES AS SELECTED BY OWNER. OR, ADA COMPLIANT CHINA WALL-HUNG SINK, AT OWNER'S DISCRETION.
- FAUCETS SHALL BE ALL BRASS, LOW-FLOW, STYLE AS SELECTED BY OWNER.

**AWNING NOTES:**

- 7'-6" MIN. HEIGHT ABOVE GRADE
- VALANCE HEIGHT: MAX. 6"
- 3'-6" EXTENSION FROM FACADE OVER SIDEWALK
- SLOPE OF AWNING: MIN. 3:12



DIMENSIONAL LETTERS AFFIXED TO EXIST'G SIGN

INSTALL BARBER POLE

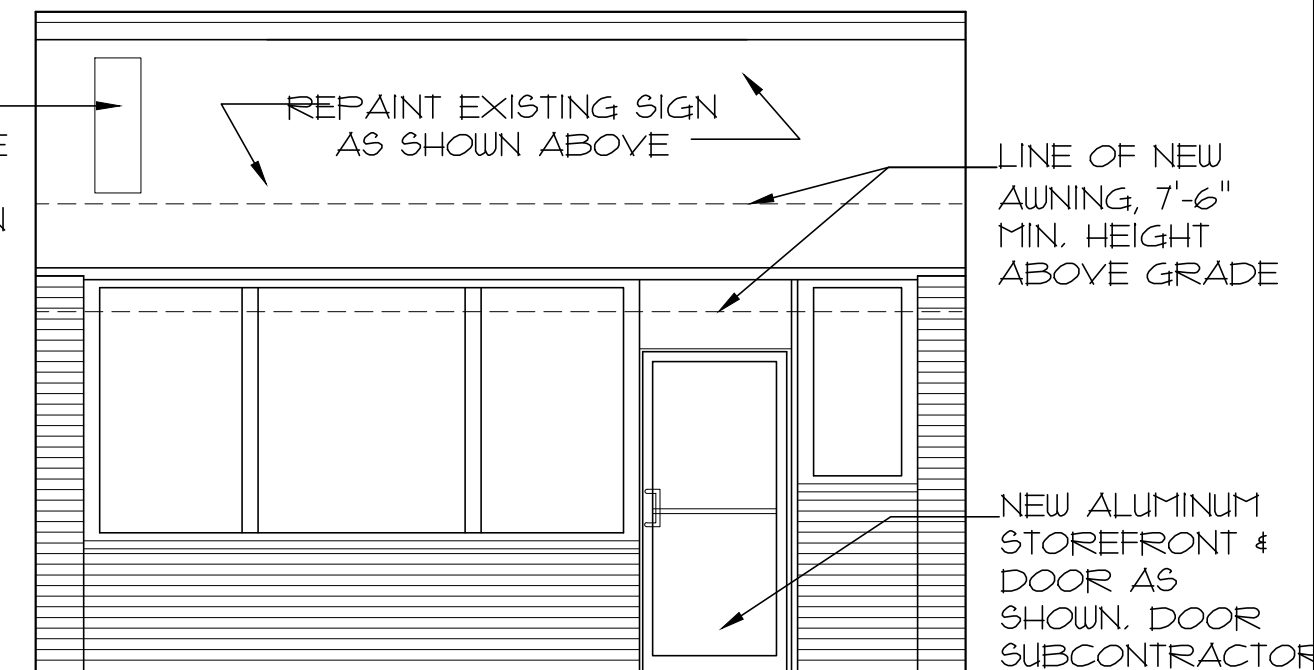
NOTE: AWNING OVERLAPS EXISTING SIGN TO PROVIDE MIN. 3:12 SLOP TO TOP OF AWNING

REPAINT SIDING & TRIM AS SHOWN

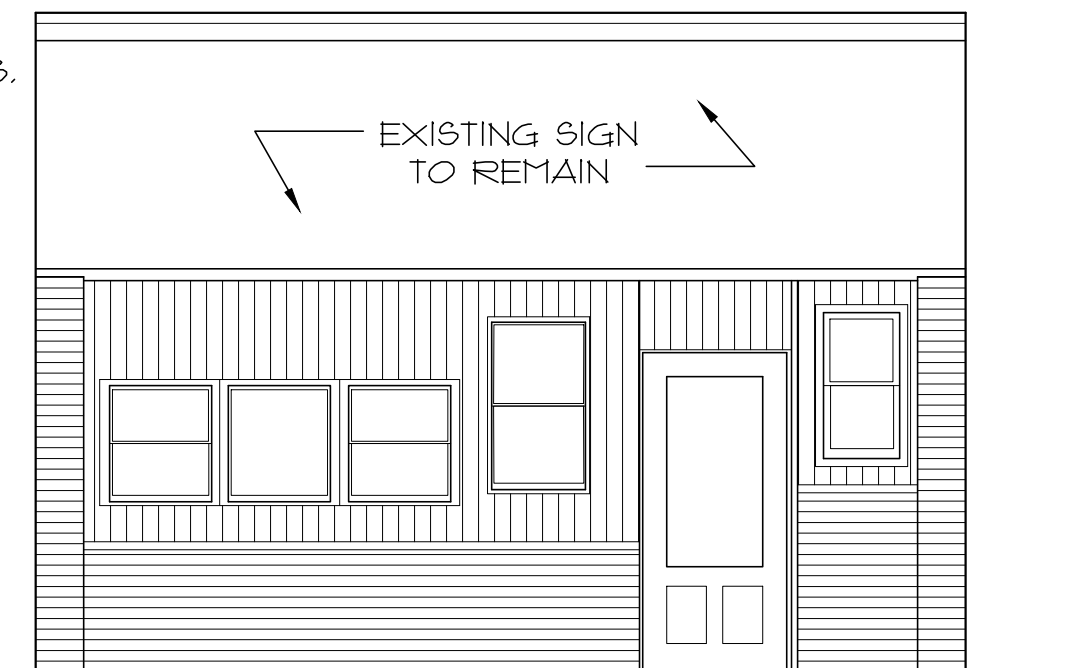
REPAINT EXIST'G SIGN AS SHOWN

NEW AWNING, MIN. HEIGHT ABOVE SIDEWALK: 7'-6"

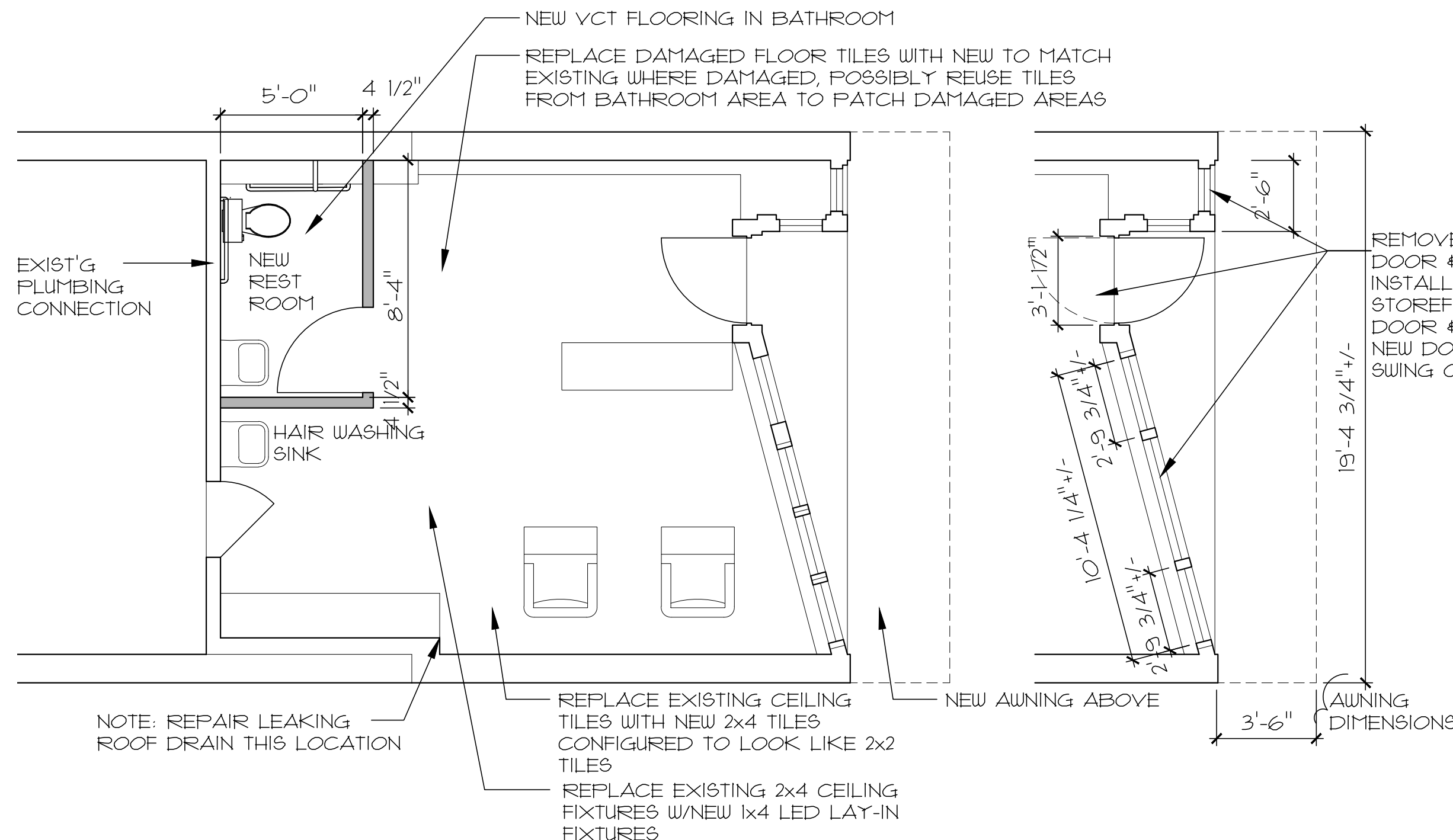
**3A. PROPOSED REPAINTING/AWNING**  
NO SCALE



**3. PROPOSED FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**4. EXISTING FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**1. 1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**1. STOREFRONT PLAN**  
SCALE: 1/4" = 1'-0"

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**FLOOR PLAN & ELEVATION**

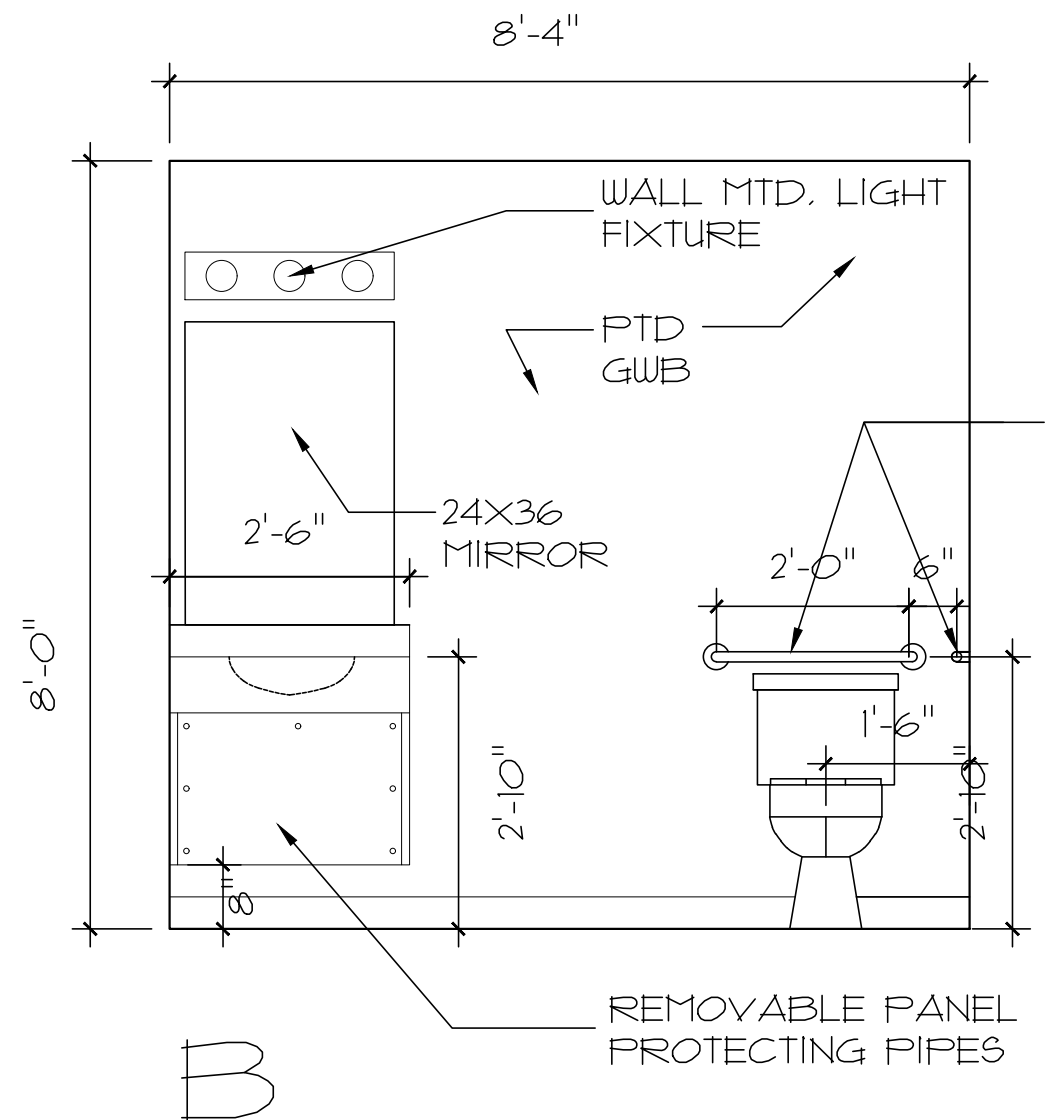
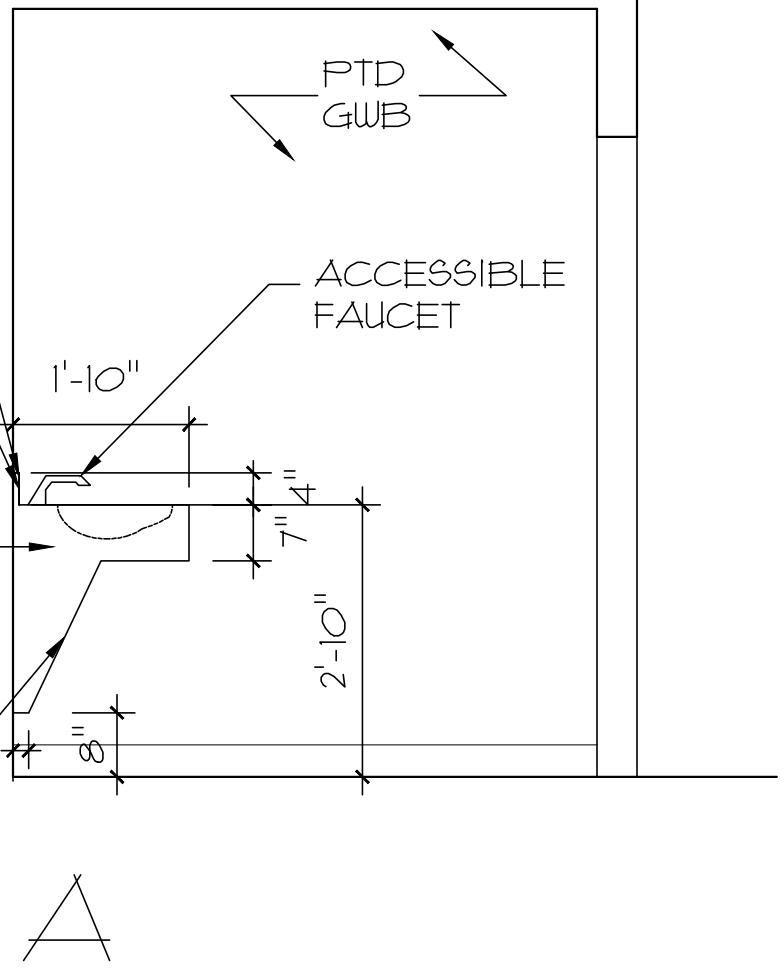
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**A-2**

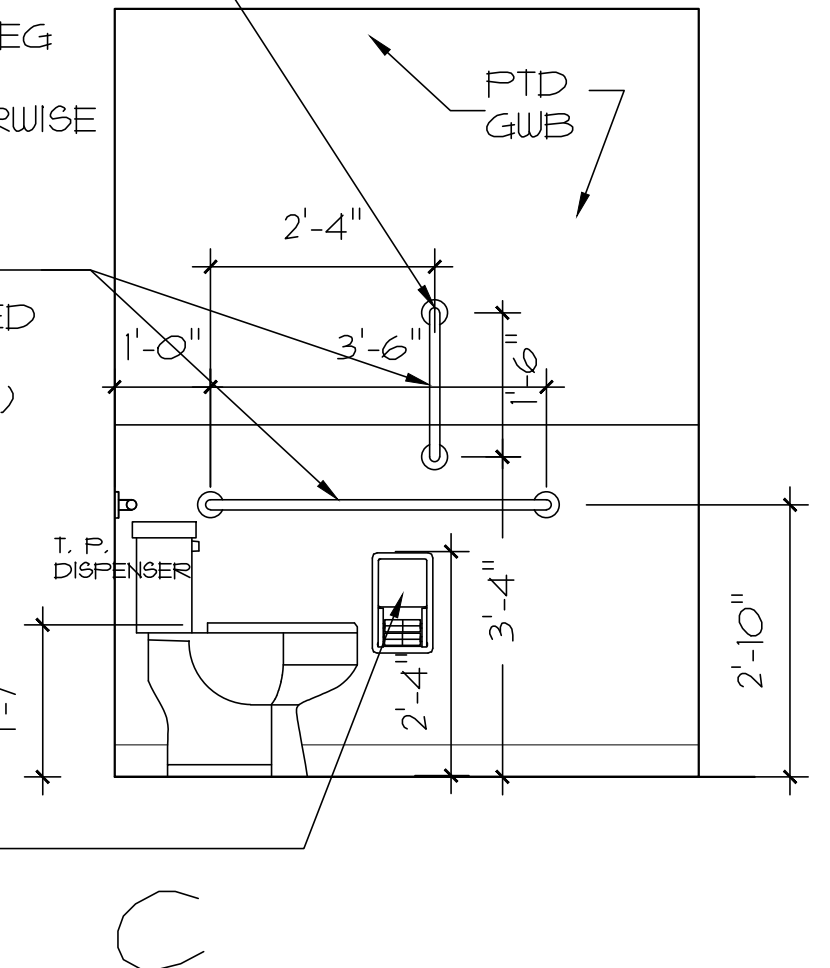
SCALE: 1/4" = 1'-0"

SET MIRROR AT TOP OF BACKSPLASH  
 BACKSPLASH TO WRAP AROUND 2 SIDES OF VANITY TOP  
 CUSTOM ACCESSIBLE VANITY OR ACCESSIBLE WALL-MOUNT SINK  
 LAMINATE ON PLYWOOD, OR INSULATE PIPES

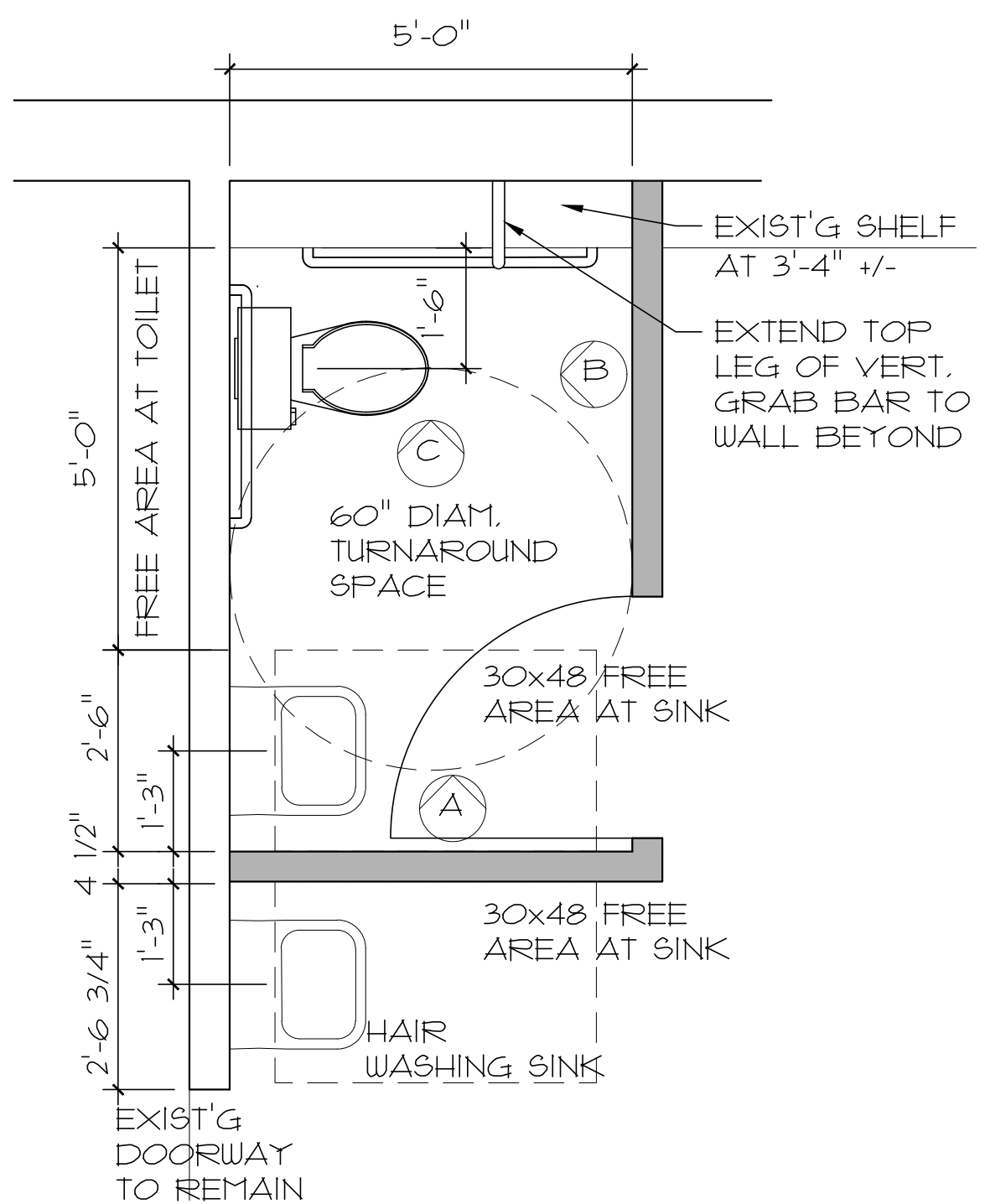


NOTE VERTICAL BAR RISES ABOVE SHELF, THEREFORE UPPER LEG OF BAR MUST BE EXTENDED OR OTHERWISE SECURED.

STAINLESS STEEL GRAB BARS, MOUNTED TO STUD PARTITION (PROVIDE BLOCKING)

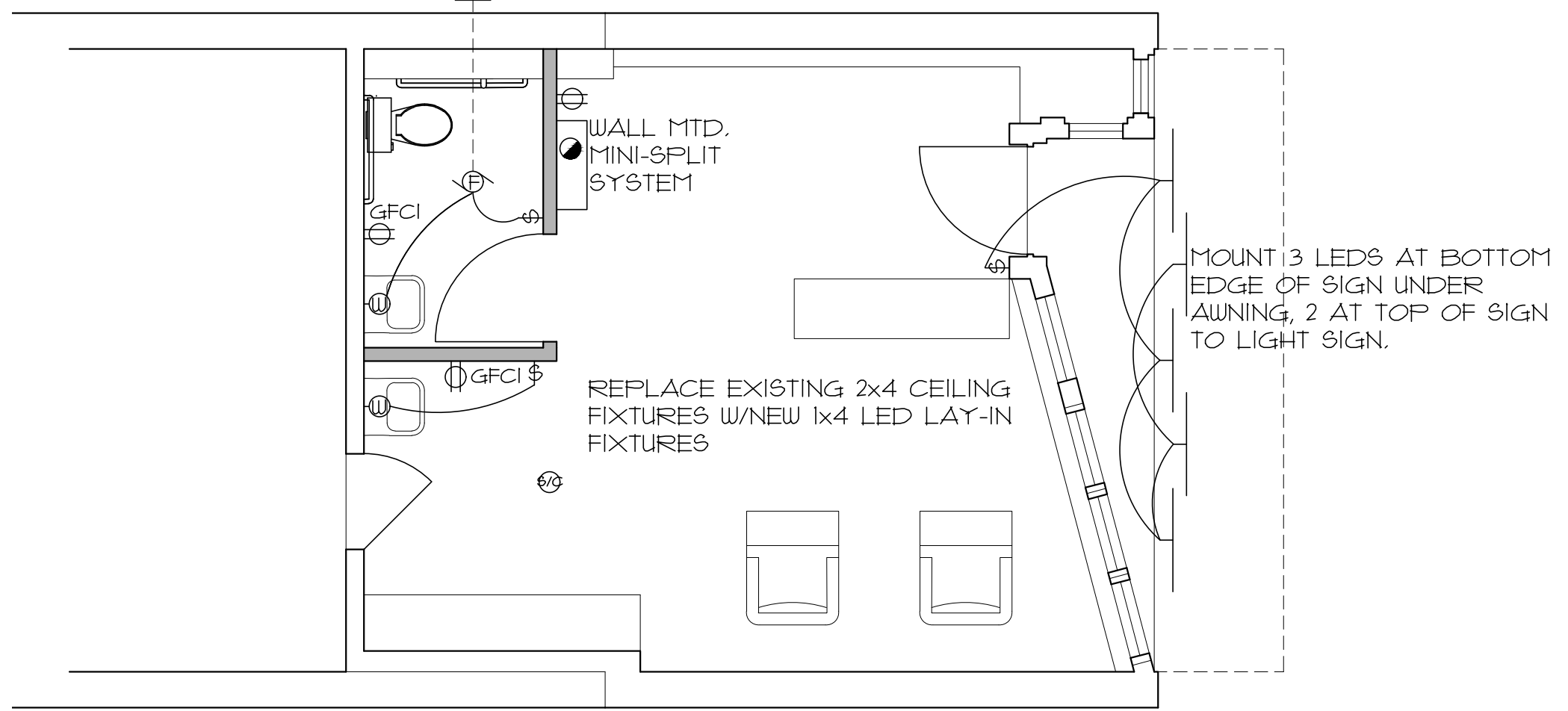


1. BATHROOM ELEVATIONS  
 SCALE: 1/2" = 1'-0"



2. BATHROOM DETAIL PLAN  
 SCALE: 1/2" = 1'-0"

NOTE: MOUNT CONDENSER ON BRACKETS AFFIXED TO BLOCK WALL, MIN 7'-0" ABOVE GRADE, OR ON ROOF



- ⊕ DUPLEX RECEPTACLE
- ⊕ GFCI ⊕ GROUND FAULT CIRCUIT INTERRUPTOR (WP-EXT-WATERPROOF RECEPTACLE)
- ⊕ SWITCH
- ⊕ COMBINED FAN & LIGHT, FAN DUCTED TO EXTERIOR W/DAMPED FAN CAP
- ⊕ NEW 1x4 LAY-IN LED FIXTURES
- ⊕ COMBINED SMOKE CARBON MONOXIDE DETECTOR, HARD WIRED.
- ⊕ WALL MOUNTED FIXTURE
- DIRECT WIRE CONNECTION
- EXT. WALL MOUNTED LED STRIP FIXTURE: AB-DF-LED9402-B -LED LINEAR FLOOD & SIGN LIGHT FIXTURE 47.65" 36 WATT LED -DABMAR

3. ELECTRICAL PLAN  
 SCALE: 3/16" = 1'-0"

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BATHROOM DETAIL PLAN & ELEVATIONS, & CANOPY DETAILS

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