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ADDENDUM #1
BID DOCUMENTS
1453 JEFFERSON AVENUE, DEXTER'S PHARMACY
BUFFALO, NY 14208

As the winter of 2022-23 has been a particularly hard one, the condition of the building at 1453 Jefferson has had several issues worsen and some previously noted issues needed some further information. As funding is limited some of these things will need to be broken down with separate pricing so that scope decisions can be made for the final project.

Clarification #1: Note concerning cornice repair

On Sheets A-3 and A-4 there are notes pointing to the cornice reading: REMOVE LOOSE PAINT, REPAIR METAL CORNICE AS REQ'D., PAINT and also on Sheet A-3 is a note that reads INSPECT ROOFING ON SLOPED SURFACE ABOVE CORNICE, REPLACE IN KIND AS REQUIRED

Video drone footage has been reviewed and some of the issues are somewhat clearer. The final extent of work required, however, will have to be determined directly in the field during construction because from the ground and from the drone footage it is not fully clear the extent of what needs to be done.

As the notes on the drawings are not particularly specific some further detail should be helpful, however, the exact extent can only be determined during construction. On the north (Ferry Avenue) elevation there is a section of the cornice which is bowing down. Looking back at the.



Drone footage of north cornice problem

photos from last year this bow was evident then, but is perhaps more pronounced now. The drone footage shows that some framing is still attached to the wall, but it is unclear whether there is any rot to the framing members. This will have to be further investigated in the field. It may be as simple as pulling everything back in line and securing the metal roof and cornice profile, or it may require replacing some framing and then reattaching the metal sections. The underlying structure of the cornice in this area likely needs reinforcement or replacement. Therefore, figure 35 lineal feet of such repair. The flashing for the most part looks in decent condition, but should also be investigated during construction, as the one note instructs. At the bowed area the flashing obviously will need to be reset into a mortar joint above since it has pulled away. This should be done with a reglet set into the joint and 50 year silicone caulk. At this time repair and painting with rustproof paint is mentioned by the existing note, but the extent of repair may be more extensive than previously known. The roof of the cornice on the west elevation shows that certain sections of the roof have been replaced (see photo). Whether or not this previous repair is adequate or not will have to be investigated up close. The top of the replaced sheet metal is standing free of the wall, so this must be fixed so that either it, or additional flashing on top of it, is set into the mortar joint. A reglet with 50 year silicone caulk should be used at all flashing where it is set into the brickwork. Since the note on the drawings says repair as required this should be included in the bid.



Clarification #2: Note concerning parapet repointing

This note indicates repointing in the parapet area. Not all the parapet needs repointing. The inside of the parapet is visible in the drone footage and appears to be in good condition. It should be visually inspected up close during construction, but any repointing there should be figured as a change order. The exterior of the parapet does not need complete repointing, just in certain areas. Figure 200 sq.ft. Included in the 200 sq.ft. is an area on the north elevation below the cornice where daylight shows through the parapet wall. This area appears to be an overflow drain, but should be investigated up close to see if there are any issues that need to be addressed, which would be a change order if they are extensive. For the purposes of bidding figure brick replacement in a 5 sq.ft. area.

Clarification #3: In replacing the vinyl flooring tiles the shelving units must be moved to put the new flooring under the shelving.

Addendum #1: Further masonry repairs

The south elevation of the building has areas that were not included in the original drawing set due to budgetary concerns. These areas show displaced brickwork and missing mortar, as a result of delamination of the steel brick angle lintels over the openings. Repairing these areas should be figured as an alternate (alternate #3, the first two alternates are listed on Sheet A-1)).

Figure replacing the steel lintels over 3 of the 5 first floor window openings and rebuilding the brickwork around the opening where it is displaced (see Figure 1). New 3 1/2" x 3 1/2" x 5/16" galvanized steel lintels shall be installed here and on the second floor at the triple window and the single window immediately to its left (Figure 2).

Several clay tile coping pieces are missing or broken and need replacement as well. Figure five pieces to match existing.



Figure 1

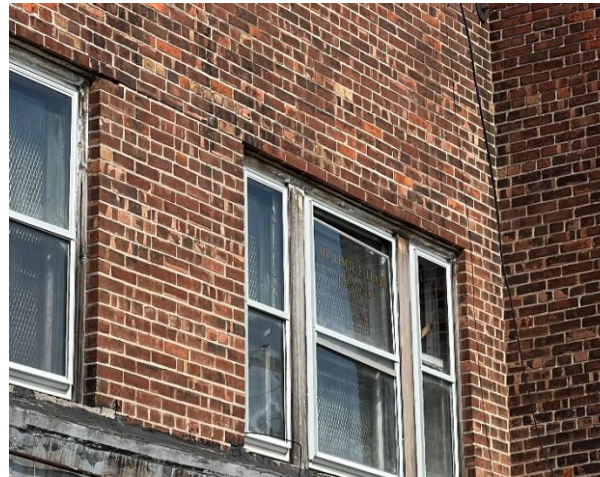


Figure 2

If there are any questions please do not hesitate to contact me.

Sincerely,



Anthony O. James, R.A.
March 31, 2023